

Address: _____

SFR Comprehensive Checklist

Instructions: check the requirement area and verify that you have complied with the requirement. Incomplete permit applications will not be accepted, and applications that do not comply will be delayed in being processed.

Yes	No	Requirement
		2 Site plans submitted on a survey
		Survey shows flood elevation data and finished floor elevation in accordance with the approved subdivision plan
		Survey shows the model type with the elevation and drainage type that complies with the approved subdivision plan.
		Survey shows total lot area and impervious area calculations, as well as the distances from the closest wall to each side rear and front setback lines.
		Notice of commencement is complete and has been recorded
		Area on the application matches the area on the plans
		Alternate Key on Property Records Card Matches Application, matches Notice of Commencement with regard to legal description, address, owner information etc.
		Warranty deed that has been recorded at the Courthouse.
		A digital copy of the plans on a CD in pdf format.
		Three sets of plans signed and sealed.
		Three sets of truss drawings, one signed and sealed
		Two energy calculations signed by the owner and preparer, along with A/C load calculations.
		Product approval sheet with all elements listed
		Property records card listing the current lot, not the master parcel.
		Property records card shows the same owner listed on the application.
		If no sewer is available, there is a copy of the septic tank permit approved by the health department.
		A completed permit application with all of the subcontractors listed and registered with the City.
		A disclosure statement if this is being done by owner-builder
		This form with all of the boxes checked

Florida Building Code – 1 & 2 Family

Revised 2010

Plan Submittal Requirements 2007 FBCR with 2009 Revisions (glitch)

The plan review process can be a complex and lengthy procedure. However, a well researched, properly prepared set of plans submitted with sufficient details, sections and information necessary to determine compliance with the State of Florida codes will move quickly through the process and have fewer reasons for rejection. The approved detailed plans are required on a job site during the inspection process to help reduce delays and the number of re-inspections. To aid design professionals and contractors, the following list has been prepared indicating the minimum amount of information to be provided. **This is a guide only.** Depending on the scope of work to be permitted, some items may not apply, or more specific information may be required. Using this form should greatly reduce the chances of submitting deficient plans. **Plans found with insufficient information will be rejected, requiring revised plans to be resubmitted when all corrections are made. This checklist is a product of several hours of work by the dedicated professionals at the Lake County Building Division. We thank them for letting us use this form and alter it to meet our specific requirements!**

Each item is to be checked off as included or n/a for not applicable.

PLANS PACKAGE:

- ☐ 3 sets SEALED by Eng./ Architect or Designed in accordance with section R301 FBCR ***
- ☐ Plans Scaled and Readable
- ☐ Wind speed, exposure type, and pressure coefficient for all the door & windows shown on plans
- ☐ Default exposure is C ***
- ☐ Designer's Name, Address, Cert. # on all pages, all pages numbered / labeled

ELEVATIONS:

- ☐ Set-Back requirements
- ☐ Approved site plan required
- ☐ Plans layout match site plan
- ☐ Plans site specific, all options selected
- ☐ Front, rear, and side views
- ☐ Windows and door locations
- ☐ Window sills greater than 24" AFF where FF is greater than 72" above final grade. ***
- ☐ Exterior wall surface
- ☐ Flood BFE _____ & FFE _____
- ☐ Unusual Grade / elevation
- ☐ Chimney location

SITE PLAN

- ☐ Survey signed and sealed by State of Florida Licensed Surveyor.
- ☐ Lot corner elevations are shown.
- ☐ Drainage type is shown and matches the approved subdivision plan.
- ☐ Finished floor elevation
- ☐ Proposed drainage plan shown.
- ☐ Flood Zone Data provided A, AE, X, C
- ☐ Lot number and subdivision phase.
- ☐ North orientation shown ***

FLOOR PLAN:

- ☐ Square footage

- ☐ Handicap bathroom access path 29 in.
- ☐ Tempered glass - Hazardous locations
- ☐ Egress windows – Locations labeled
- ☐ Label sizes ALL door & windows
- ☐ Interior load bearing walls shown

FOUNDATION:

- ☐ Footing locations, depth and width
- ☐ Rebar grade and Size
- ☐ Vertical cell location
- ☐ Slab description
- ☐ Minimum 12" below grade
- ☐ All wood 6 in. above grade
- ☐ Relieving Arch Steel Detail
- ☐ Brick ledge detail
- ☐ Termite shield details
- ☐ Column footing / pad location
- ☐ Interior footing, location and detail

MASONRY WALLS:

- ☐ Horizontal reinforcing steel detail
- ☐ Vertical steel detail
- ☐ Typical lintel and tie beam
- ☐ Typical wall & opening detail
- ☐ Bearing frame wall to block wall detail
- ☐ Engineers attachment detail for wood bucks 1-1/2 in. thick or greater
- ☐ Door & windows: ***provide all approved installation details on site at time of inspection***
- ☐ Special opening detail
- ☐ Change in height detail
- ☐ Non-continuous lintel / bond beam
- ☐ Retaining wall detail and limits
- ☐ Rough Opening Dimensions on all openings. ***

FRAME WALLS:

- ☐ Bearing wall construction
- ☐ Header / opening details
- ☐ Anchor bolts spacing and size

- ☐ Wall sheathing nailing schedule
- ☐ Connector chart - type and nail count
- ☐ Interior bearing wall details
- ☐ 2 story wall construction detail
- ☐ Fire wall detail and rating
- ☐ Gypsum ceiling diaphragm detail ***
- ☐

ROOF FRAMING:

- ☐ Correct truss layout by truss company
- ☐ Layout by Eng. / Architect of record
- ☐ Marked strapping locations - SEALED
- ☐ Strap schedule - size with nail count
- ☐ Truss bracing
- ☐ Roof Type: ***provide Installation details on site at time of inspection***
- ☐ Roof Sheathing and nailing schedule
- ☐ Ceiling/Roof diaphragm and blocking
- ☐ Valley framing detail
- ☐ Girder location and strapping required
- ☐ Interior bearing wall detail
- ☐ Gable end details and bracing requirements

ELECTRICAL:

- ☐ Load description / Service Size
- ☐ Smoke detector locations labeled
- ☐ Electric Layout
- ☐ CO Detectors if required ***
- ☐ Type ground at the service

MECHANICAL:

- ☐ Equipment locations
- ☐ Signed Energy Code Calculations
- ☐ Correct orientation per the survey ***
- ☐ Supply layout duct & grill sizes
- ☐ Return duct layout and jumpers
- ☐ Approved structural details for air-handler installed in attic area

Florida Building Code – 1 & 2 Family

Revised 2010

MECHANICAL: (CONTINUED)

- () Attachment detail for mechanical equipment installed outside and equipment is a minimum of 3" above finished grade.

PLUMBING:

- () Water Heater location
- () Fixture Location
- () Septic location
- () GPM water usage at all showers ***
- () Backwater valve
- () Cement, fiber-cement and glass mat
Gypsum indicated in showers and tubs ***

GAS SYSTEM REQUIREMENTS

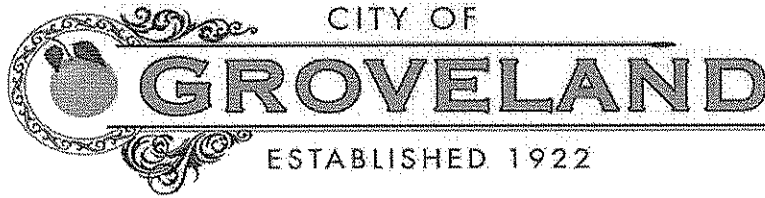
- () BTUs each outlet & total BTUs
- () Pipe type & total length
- () LP regulator Model / Type

CONSTRUCTION DETAILS

NEED DETERMINED

BY INDIVIDUAL PLAN

- () Stair and railing details
- () Bay window detail
- () Chimney framing detail
- () Dormer framing detail
- () Entry construction detail
- () Column strapping detail
- () Post to beam / slab connectors
- () Glass block installation details
- () Skylight framing detail
- () Bonus Room details
- () 2nd Floor Layout / connectors detail
- () Knee wall construction detail



CITY OF GROVELAND
156 S. LAKE AVENUE
GROVELAND, FL 34736

PHONE 352-429-2141
FAX 352-429-3852

Purpose: This form has been devised to help you through the inspection process. Inspections have been listed in the order that they should be called in based on a monolithic foundation. Actual inspection order may vary. This list is general in nature and not intended to be viewed as a complete requirement for inspections.

Calling for Inspections

The inspection request: We ask that you email your inspection to INSPECTIONREQUEST@EMBAROMAIL.COM. Please send the request in the following format: Address (156 S. Lake Ave), Type of inspection (Final), Permit Number (123-09-10BEPH), Contact Number of someone that can be contacted the day of the inspection in case there is a problem with either access to the job or a simple problem with the job.

Underground Plumbing

This is typically the first inspection on a house with a monolithic foundation. The following items are typical, but not exclusive to what will be checked.

1. Setbacks in compliance with the approved survey.
2. DWV sloped correctly, as this will be checked with a digital level.
3. 90% of the DWV must be exposed along with all joints at turns and within 5' of fixtures.
4. DWV must have a minimum of 5' head of water at the highest point of the system.
5. Water supply must have a minimum 100 psi of pressure. There must be a way to relieve the pressure near the gauge.

Footing/Slab

These are typical items that are inspected on the footing and or slab.

1. Vertical dowels located per the plans, and long enough to allow adequate splice above finished floor.
2. Footings sized and located per the approved plans. Steel installed is also per the approved plans.
3. Steel is adequately supported. Typically this requires chairs or supports 5' to 6' apart and under each vertical dowel for two rebars, and 4' to 5' apart for three horizontal pieces of steel.
4. Compaction and density reports for footings on questionable soil, or when footings are placed on fill dirt.
5. Proof of termite treatment.
6. Vapor barrier installed and properly lapped. All penetrations of the vapor barrier are adequately sealed. Vapor barrier is run down into the footing to the edge of the steel, but not under the chairs or under the steel so as to isolate the footing from the earth.

Lintel

1. Vertical dowels placed per the approved plans.
2. Vertical dowels spliced per the approved plans.
3. Cleanouts cleaned out of all debris, and vertical cells are clear from top to bottom to allow sufficient grout to fully grout the cell.
4. Head and bed joints sized per the minimum requirements of the FBCR.
5. Long span pre-cast lintels are properly supported per mfg specs or approved plans.
6. Horizontal steel over openings and in bond beams per the approved plans.
7. Horizontal steel is placed so as to allow proper coverage with grout.

Other Requirements

1. Windows and doors installed per the product approval requirements.
2. Smoke detectors installed in hallways adjacent to bedrooms.
3. Pressure on plumbing system at 100 psi minimum.
4. Vents through the roof and properly supported and penetrate the roof properly.
5. Dryer vented to the exterior. Vent properly supported and the roof penetration is proper.
6. Roof coverings installed per the product approval requirements and the color matches the color described on the energy calculations.
7. Windows installed match the type and rating listed on the energy calculations.

Insulation

1. Correction of any items carried over from the All Rough.
2. Insulation installed according to the approved energy calculations.
3. Depth markers spaced no further than 10' apart in any direction.
4. Batted insulation installed in areas that are not considered accessible.
5. Penetrations of exterior walls and top plates are sealed.
6. Areas around windows, doors and joints between wood and masonry are sealed.

Electrical Greentag

This inspection is performed to allow the electrical contractor to energize the house so as to allow the house to be completed under full power.

1. All electrical outlets are trimmed or made safe by installing wire nuts and having outlet boxes covered.
2. Panel is completely and correctly labeled.
3. Overcurrent protection is adequately sized and conductors to each overcurrent device is properly sized.
4. Service outside is properly grounded, conductors are correctly sized and the service is in a safe conditions ready to have the meter installed.

All Final

Bedrooms

1. Hot check receptacles.
2. Check Egress windows for ease of operation.
3. Check closet lights for clearance from shelves.
4. Check smoke detectors.
5. Check for lighting outlet and switch.

Bathrooms

1. Check gfci receptacle next to sink.
2. Check sink, shower and bathtub/shower for proper function and leaks.
3. Check exhaust fan for proper operation.

Kitchen

1. Hot check gfci receptacles.
2. Hot check other receptacles.
3. Check sink for proper installation and leaks.
4. Check any other component for proper installation and function.

Garage

1. Check for proper installation of garage door.
2. Check for attic access if applicable.
3. Check for proper installation of any appliances.
4. Check for proper installation of insulation per the approved energy calculations.
5. Check for a solid door between the garage and the house.

Exterior

1. Egress lighting installed at all egress doors.
2. Exterior gfci receptacle installed on the back and front porch.
3. Lot graded according to the approved subdivision plan and plot plan.
4. Exterior of the building painted in accordance with the approved energy calculation.

Single Family Residence Required Inspections

Monolithic Foundation	Stemwall Foundation
<ol style="list-style-type: none"> 1. Rough Plumbing/ Temp Pole 2. Slab 3. Lintel 4. Roof and Wall Sheathing 5. All Trades Rough Inspection 6. Insulation 7. Final Electric 8. Final All Trades 	<ol style="list-style-type: none"> 1. Footing/Temp Pole 2. Rough Plumbing 3. Slab 4. Lintel (block exterior walls) 5. Roof and Wall Sheathing 6. All Trades Rough Inspection 7. Insulation 8. Final Electric 9. Final All Trades

1. Rough Plumbing Checklist
 - a. A minimum 5' head on the DWV
 - b. A minimum 100 PSI on the water supply
 - c. Primer on all DWV joints.
 - d. Sleeve on pipes passing through the foundation wall.
 - e. Vent and Trap Locations
 - f. Setbacks met according to the approved site plan. (Monolithic)
 - g. Notice of Commencement (Monolithic)
2. Footing (Stemwall)
 - a. Footings located according to the approved plans.
 - b. All details installed according to the approved plans.
 - c. Chairs properly placed (Max 5' spacing).
 - d. Steel tied to the chairs.
 - e. Steel splice lapped a minimum 40 bar diameters.
 - f. Steel clearance from earth (Min 3'').
 - g. Footing a minimum 12'' below grade.
 - h. Compaction Density Reports for footings on Fill or questionable soil.
 - i. Vertical Steel placed according to the approved plans.
3. Slab
 - a. For Monolithic see requirements for footings above.
 - b. Termite treatment, Vapor Barrier and reinforcement of slab.
 - c. Will Finished floor height allow proper grading and drainage?
 - d. Is finished floor height according to the approved subdivision plan?
4. Lintel
 - a. Vertical Steel installed according to the approved plans.
 - b. Lintels according to the approved Plans.
 - c. Horizontal steel installed to allow proper coverage.
 - d. Vertical steel and horizontal steel splices 40 bar diameter minimum.
 - e. Joints between blocks 3/8''
 - f. Rough window and door openings installed per approved plans.
 - g. Wall height according to the approved plans.
5. Sheathing
 - a. Nailing according to the approved plans.
 - b. Valley Flashing and dripedge installed per approved plans.
 - c. Downpour covers removed.
 - d. Window and door bucks installed.
 - e. Roof panels per CH. 23 FBC.

6. All Rough (All trades must be called for inspection at the same time)

A. Framing

1. Shingles installed, roof complete.
2. Windows and Doors Installed.
3. Framing Details per plans.
4. Truss Bracing per Drawings
5. Truss layout provided.
6. Truss Straps per uplift requirements.
7. Headers per approved plans.
8. Fireblocking and Draft stopping.

B. Electrical

1. Electric per Plans.
2. Receptacle Spacing
3. Protection of conductors.
4. Smoke detectors where required.
5. Conductor Sizes
6. Other required receptacles per NEC
7. Required lighting and switches per NEC

C. Plumbing

1. Minimum 100 PSI on pressure gauge with hot and cold loop.
2. Protection of water lines throughout.
3. Protection of vent pipes.
4. Floor sealed at showers and tubs.
5. Vents properly terminated above the roof.

D. Mechanical

1. All ductwork per approved plans.
2. All ductwork properly sealed.
3. Mixing boxes properly supported.
4. Dryer vent protected from nails at top plate.
5. Dryer vent 1" clearance from combustibles.
6. Dryer Vent maximum 25' run.
7. Combustion and makeup air where required.
8. Ventillation where required.
9. Return air in all bedrooms and other rooms where required.

7. Insulation

- a. Insulation installed meets the energy code for R-value.
- b. Depth markers installed for blown insulation.
- c. Baffles installed.
- d. Batt insulation installed in areas not accessible for blown insulation.
- e. All penetrations of exterior envelope have been sealed.

8. Final Electric

- a. Grounding source must be exposed for inspection.
- b. All conductors must be made safe.
- c. Service must be complete, with all breakers identified.
- d. Address must be posted on the building.

9. All Final (All trades must be completed).

A. Building

1. 911 address posted at the street or on the building if within 50' of road.
2. Right of way completely restored and sodded, street clean of construction debris and sand.
3. All construction debris removed from the site.
4. Driveway Complete.
5. Erosion control provided around the structure sod installed, proper drainage and landscaping installed. Gutters may be necessary where valleys drain against the house.
6. All required trees are installed.
7. Termite Sticker installed on the water heater or main panel.
8. Egress Windows fully functional.
9. Check insulation levels for blown insulation.
10. All building work complete.

B. Electrical

1. Electrician has marked the panel with date of hot-check and initialed the panel.
2. The electrical panel is properly labeled.
3. Hot check all receptacles.
4. Check All GFCI and AFCI requirements.
5. Check breaker size with name plate rating of appliances.
6. Check smoke detectors for interconnection and functionality.
7. Look for vented access cover for Jacuzzi Tub.
8. Look for working clearances at all panels and equipment.
9. All electrical work complete

C. Plumbing

1. Backflow devices and reduced pressure devices where required.
2. Hammer Arrestors, accessibility and presence.
3. Vacuum Breakers on all hose bibs.
4. Check for general leak free operation of sinks and other drains.
5. Shutoff valves accessible and in enclosures where required.
6. Water Meter accessible, meter box free of damage or debris.
7. All cleanouts cut off at grade.
8. Water Heater and other appliances protected in the garage.
9. All plumbing work complete.

D. Mechanical

1. EPL card posted on Airhandler.
2. Mechanical equipment protected in the garage.
3. Condensor secured to slab, and not blocking working clearance to the main panel.
4. All Mechanical work complete.

Certificate of Occupancy Procedure:

We ask that you request a certificate of occupancy in writing by either faxing a request to (352) 429-3852, or by emailing your request to Buildingdept@cfl.rr.com . We must receive a copy of the final survey, Flood elevation certificate if applicable, Insulation certificate and a copy of the termite treatment history report on the house. Once we receive your request along with all of the required paperwork, we will check for payment of reinspection fees and process the CO. All reinspection fees must be paid and inspections must be complete prior to picking up a CO. We ask that you allow 48 for processing of the Certificate of Occupancy.